Sussex County Cricket Ground

BH2021/04379

Brighton & Hove City Council

Application Description

Application to vary condition 43 (details of privacy screens to the balconies serving flats 2, 9, 10, 16, 22 and 27) of planning permission BH2020/03745.

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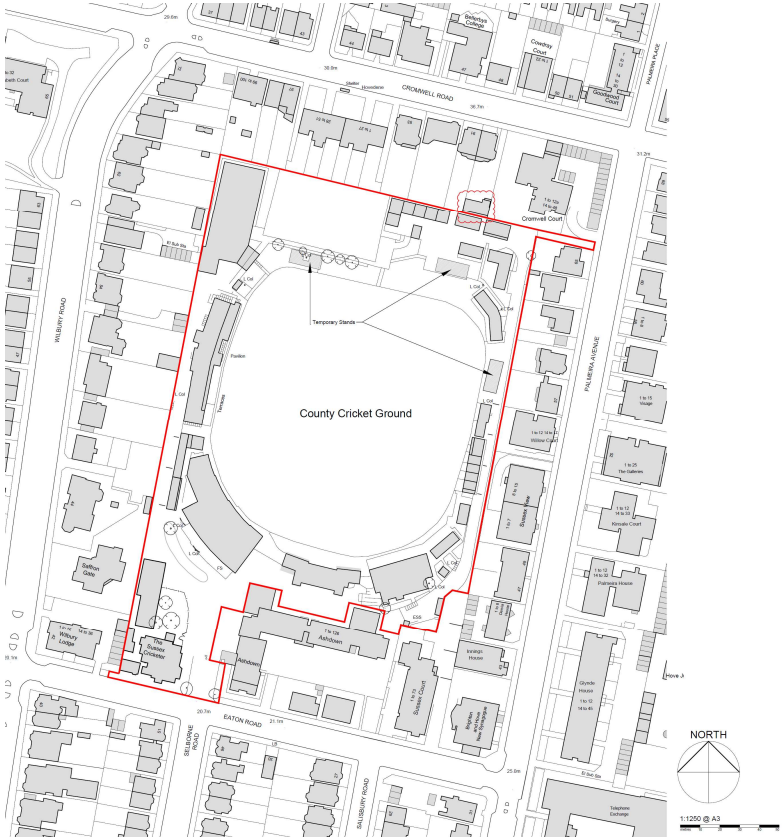
Location Plan



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Aerial photo of site

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3D Aerial photo of site

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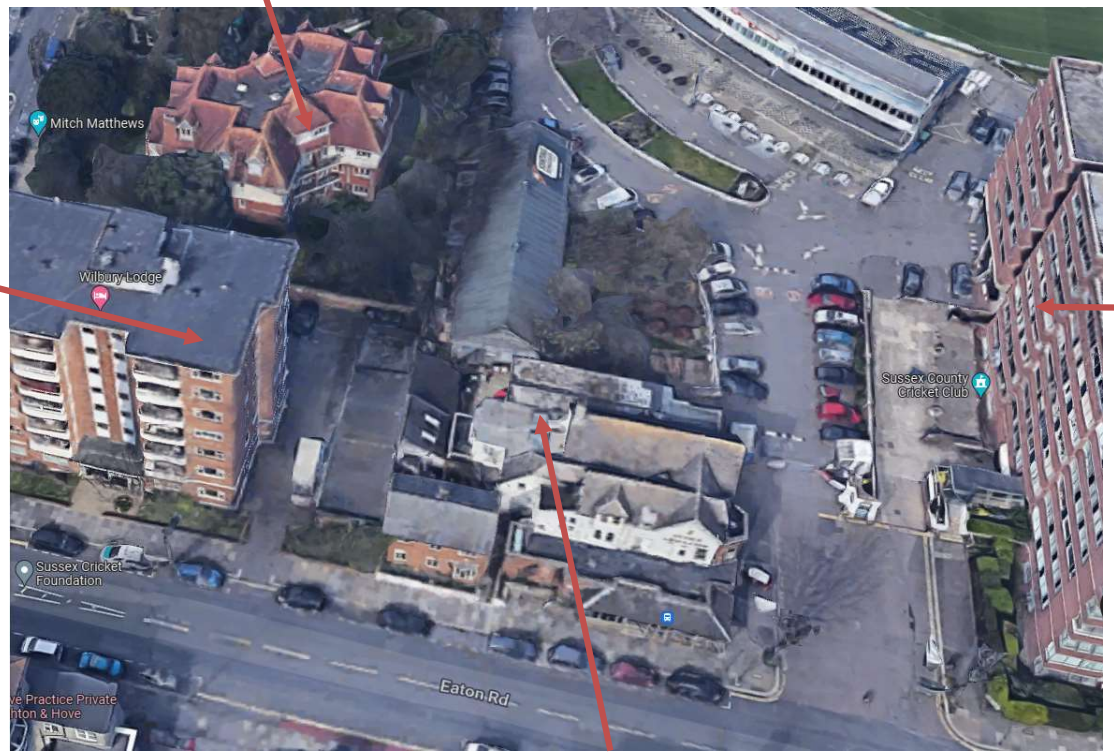
3D Aerial photo of site and immediate neighbours

Saffron Gate

Wilbury Lodge



Ashdown

Location of phase 1

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Streetscene photos

Wilbury Lodge

Saffron Gate

View from Eaton Road to the west

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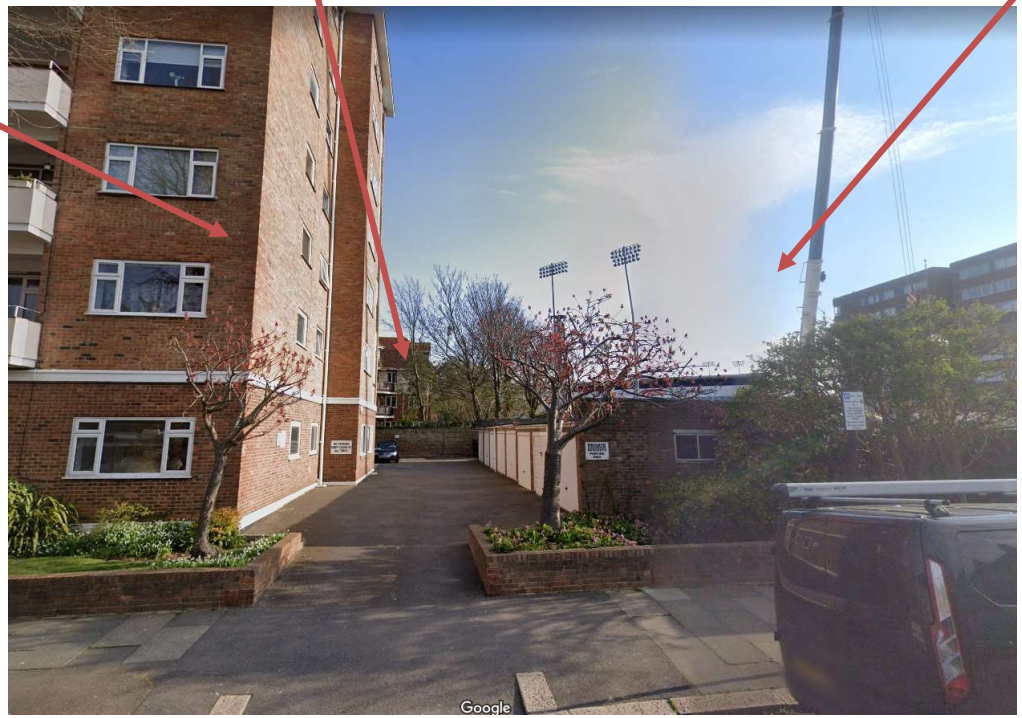
Streetscene photos

Saffron Gate

Application site

Wilbury Lodge



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Streetscene photo

View from Eaton Road looking East

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First floor plans

Please note that the location of all balconies, on each floor, has been agreed under the previous application BH2020/03745.

The proposal would remove the requirement for additional screening and the balconies would therefore have balustrades of 1.1m in height with clear glazing.

ID

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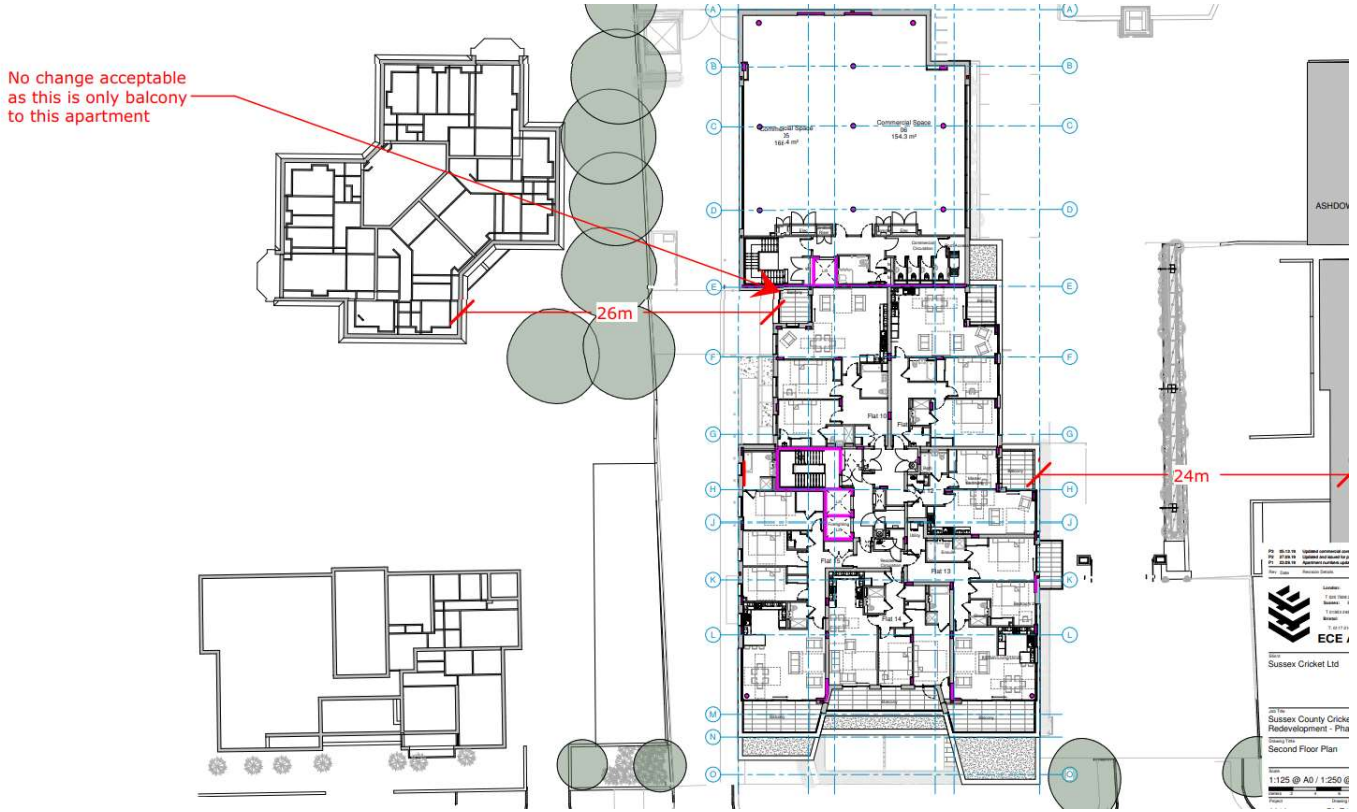
Second floor plans



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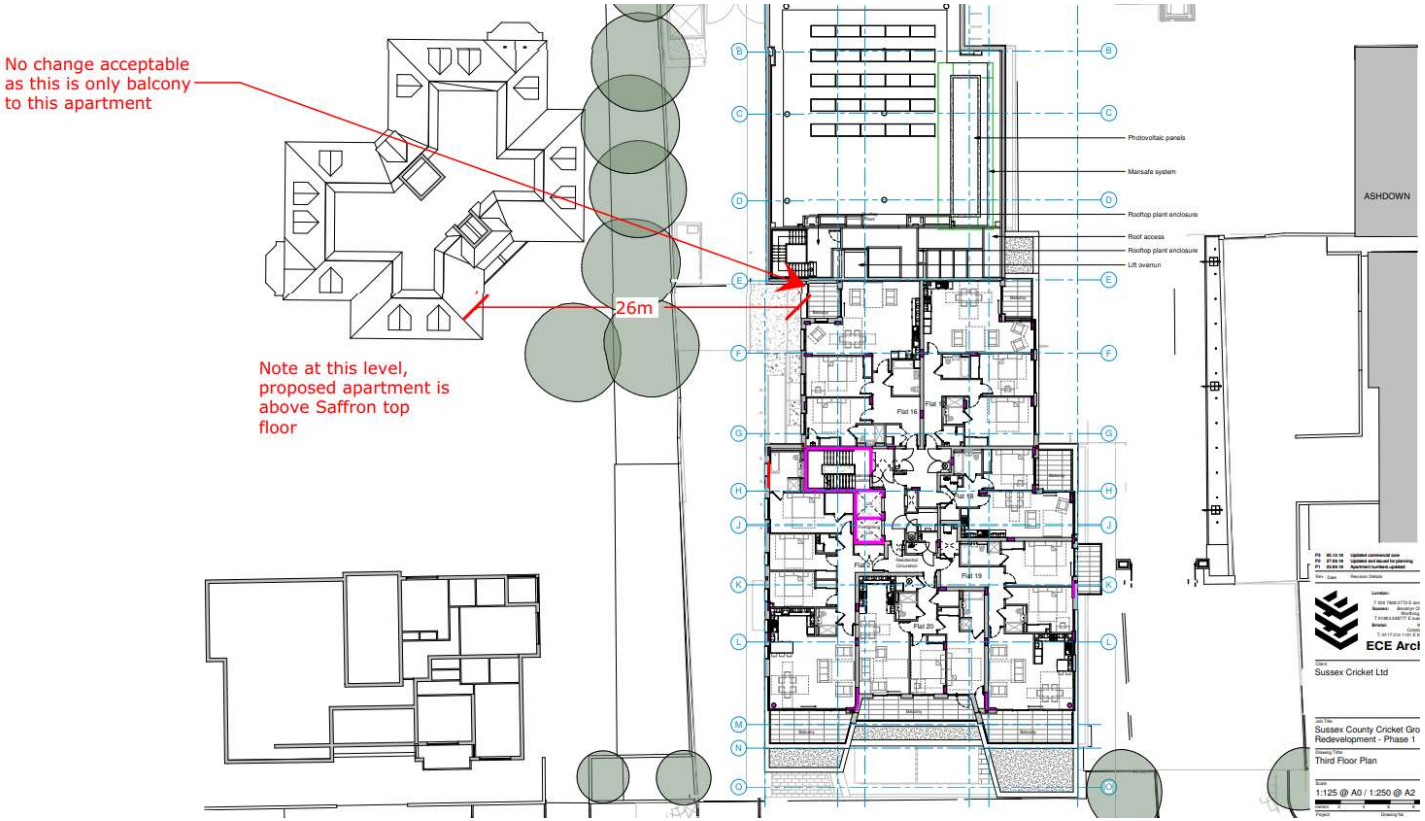
Third floor plans



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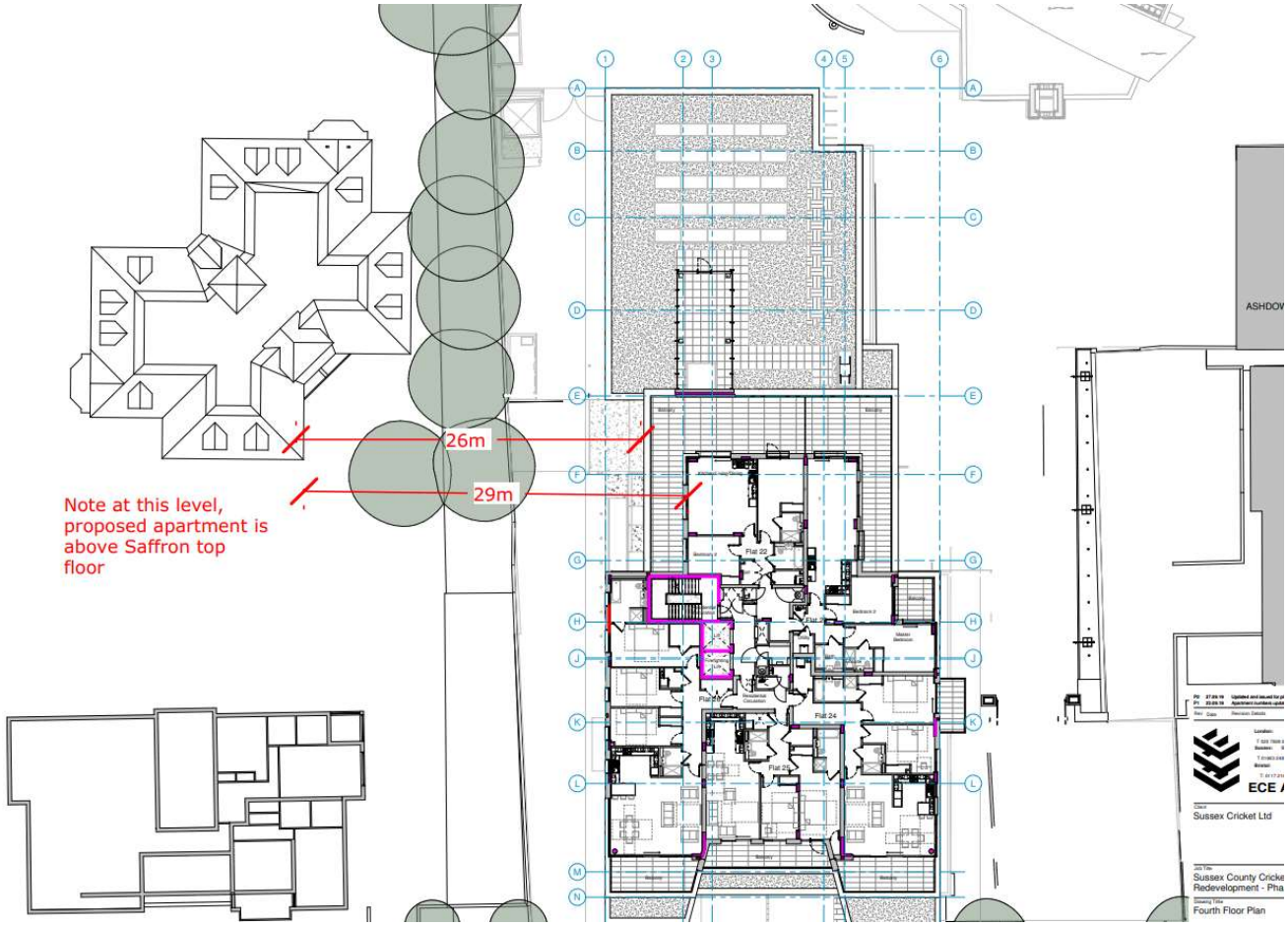
Fourth floor plans



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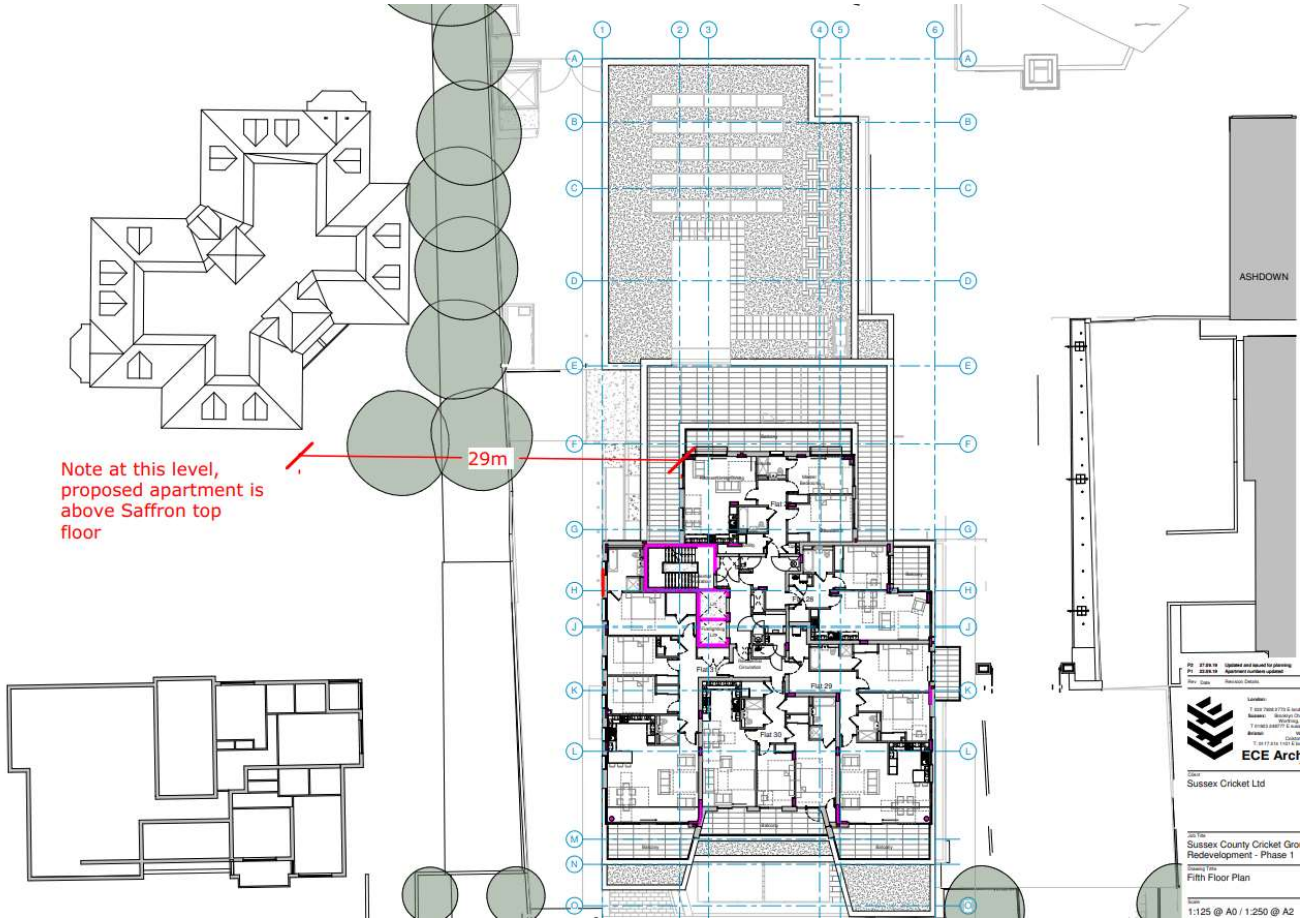
Fifth floor plans



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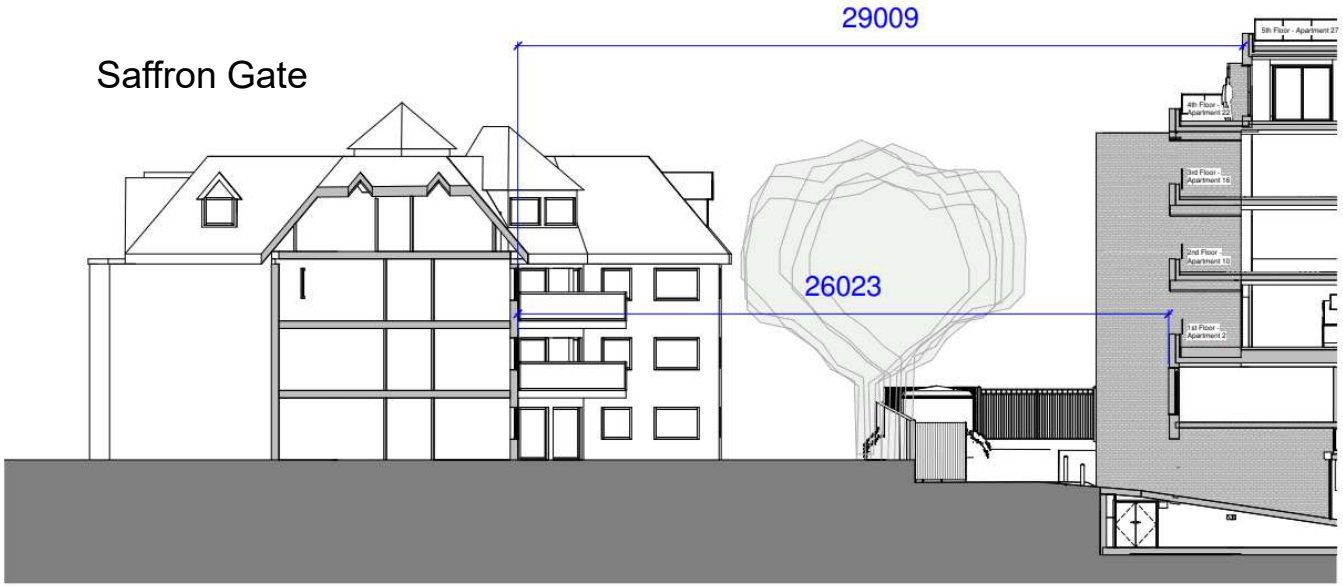
Section to show western balconies relationship to Saffron Gate

Application site



Key Considerations in the Application

- Impact on neighbouring amenity
- Standard of accommodation to future occupiers of the development

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Conclusion and Planning Balance

- The separation distances between the western balconies and neighbouring properties are considered sufficient and comparable with those to the east of the development.
- This combined with the line of trees between the development and Saffron Gate will ensure acceptable privacy levels.
- A condition has been sought to increase the balustrade to unit 9 to 1.3m in addition to obscured glazing to protect residents of Wilbury Lodge.
- Any significant increase in height to other balconies would impact the standard of accommodation for future residents of the units in question within phase 1.
- The recommendation is therefore to Approve.

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